



BOARD OF TRUSTEES MEETING

March 9, 2023

Roaden University Center, Room 282

1:30 p.m.

AGENDA

- I. Call to Order and Roll Call
- II. Recognition of Students
- III. Approval of Minutes of December 1, 2022
- IV. President's Report
- V. Audit & Business Committee Recommendations
 - A. Compensation Plan
 - B. Non-Mandatory Fees
 - C. Master Plan Amendment
 - D. Disclosed Projects FY2022-23
- VI. Board Secretary Report
- VII. Other Business
- VIII. Adjournment



Agenda Item Summary

Date: March 9, 2023

Agenda Item: Recognition of Students

Review

Action

No action required

PRESENTERS: Chair Harper

PURPOSE & KEY POINTS: Five students will introduce themselves and share highlights about their involvement with the Remote Area Medical Clinic (RAM) for which Rural Reimagined initially provided a substantial amount of assistance. They will be joined by their faculty advisor, Janet Coonce. They should be recognized for their tireless, compassionate efforts to bring no-cost healthcare to our rural communities.

Alex Coker
Dominick Coker
Austin McCowan
Andy Stovall
Maggie Teat



BOARD OF TRUSTEES
December 1, 2022
Roaden University Center, Room 282
MINUTES

Meeting streamed live via link found on this web page:
<https://www.tntech.edu/board/board-and-board-committee-meetings.php>

AGENDA ITEM 1 – CALL TO ORDER

The Tennessee Tech Board of Trustees met on December 1, 2022, in Roaden University Center Room 282. Chair Trudy Harper called the meeting to order at 1:37 p.m.

Chair Harper asked Mr. Lee Wray, Secretary, to call the roll. The following members were present:

- Savannah Griffin
- Fred Lowery
- Tom Jones
- Thomas Lynn
- Rhedona Rose
- Johnny Stites
- Barry Wilmore
- Trudy Harper

- Dan Allcott, virtual

Professor Allcott confirmed that he could simultaneously hear and speak to the Board members, that he was by himself, and that he received the Board materials in advance of the meeting.

A quorum was physically present. Tennessee Tech faculty, staff and members of the public were also in attendance.

AGENDA ITEM 2 – RECOGNITION OF STUDENTS

Chair Harper invited leadership from three student organizations who had joined Trustees for breakfast to come to the podium, introduce themselves, and share highlights about their student organizations. Macia Rudolph, Vice President, Black Student Union; Addy Morgan, President, Delta Gamma Sorority; and Amber Varney, President, Gymnastics Club each shared information about the organization with which they were affiliated and how the university was providing support for their organization. Chair Harper stated that the students' leadership in these organizations would help promote their careers in spectacular ways and also make such a difference in all the people's lives that they were leading.

AGENDA ITEM 3 – APPROVAL OF MINUTES

Chair Harper asked for approval of the minutes of the October 6, 2022, Tennessee Tech Board of Trustees meeting. Chair Harper asked if there were questions or comments regarding the minutes. There being none, Mr. Jones moved to recommend approval of the October 6, 2022, Board of Trustees minutes. Ms. Rose seconded the motion. Mr. Wray called a roll call vote. The motion carried unanimously.

AGENDA ITEM 4 – PRESIDENT'S REPORT

President Oldham welcomed and thanked members of the Board of Trustees for the time and energy which they put into the institution; he stated that it was greatly appreciated.

He also stated that he wanted to thank past vice chair, Teresa Vanhooser, on behalf of everyone for the wonderful way she served at Tennessee Tech over the past five years. He stated that he appreciated her greatly and that a plaque had been created which would be provided to her at the earliest opportunity.

President Oldham recognized special guests, Steven Gentile and Victoria Harpool, from the Tennessee Higher Education Commission (THEC). He stated that Tennessee Tech has wonderful support from THEC, from the General Assembly, and from the Governor's Office.

He stated that during the morning committee meetings, reports were provided on the overall health of the institution, the health of our academic programs, the health of student support services, and university finances. All were excellent reports.

President Oldham also stated that as a follow-up to a previous Board recommendation that we ensure a naming legacy be maintained on campus, a policy revision to codify the practice was proposed. If, over the course of time a change needs to be made to the name of a building or other facility, an attempt will be made to maintain the legacy of the name in an appropriate fashion and the board's leadership will be appreciated in that process.

He stated that despite having a near record enrollment of freshmen during the past year, an increase of 21 percent in applications year to date has been seen as compared to last year. Merging the division of Enrollment Management and Career Placement with the Office of Communications and Marketing under the direction of Vice President Karen Lykins' leadership will be a valuable reorganization. The Office of Registrar will be moved into Academic Affairs and will now report to the Provost. We anticipate that these changes will result in a more efficient and effective organizational structure.

President Oldham also stated that the Tennessee Higher Education Commission (THEC) will be forwarding their budget recommendation to the Governor's Office for consideration by the Governor as well as by the next session of the General Assembly. That proposal involves additional resources that would be required to meet the funding formula guidelines for productivity. So, based on the productivity of the past year, THEC is requesting an additional \$150 million in next year's state appropriation and with that, they also set a working range for tuition and fees so that individual institutions can begin the planning process of determining what their internal budget might look like. A zero to three percent working range for tuition and fees increase is being considered but is not yet binding and, as always, the default position is to keep tuition and fees to the lowest possible level we can.

He stated that the other aspect of the budget recommendation to the state involves capital projects. Tennessee Tech's request in this year's capital project list, the replacement of Matthews Daniel Hall and Crawford Hall with a new academic classroom building, is the number three priority coming from the Commission. Other updates on capital projects include progress being made on the Ashraf Islam engineering building, designer selection for the second engineering building and West Tucker Stadium, and the grand opening of the Poultry Science Lab which will provide great opportunities for agriculture faculty and students and also serve the poultry industry in the region.

President Oldham also mentioned – to name a few -- that Tennessee Tech's electrical engineering program ranked number one in Tennessee for return on investment (ROI); Tennessee Tech has seven of the top 25 academic programs in the state based on return on ROI; Tennessee Tech marketing graduates have a lower student debt than graduates from any other public university academic program in Tennessee; Dr. Jesse Carrick, Professor of Chemistry, received the Henry Dreyfus Teacher-Scholar Award – the first faculty member from any Tennessee University to win this award; the Cybersecurity Team ranked second nationally in competitions; and Tennessee Tech student, Irene Sullivan, was named the number one accounting student in the state of Tennessee.

AGENDA ITEM 5 – ELECTION OF VICE CHAIR

Chair Harper stated that the next item on the agenda was to elect a new vice chair because, Teresa Vanhooser, who previously served as vice chair, recently resigned from her role on the

Board of Trustees. Pursuant to Bylaw 1.5.A, the Board shall elect from its members a chair, vice chair, and other officers the Board deems appropriate. The officers shall serve a term of two (2) years.

Mr. Jones moved to nominate Rhedona Rose to serve a two-year term (expiring on November 30, 2024) as vice chair and member of the Executive Committee. Mr. Wilmore seconded the motion. Mr. Wray called a roll call vote. The motion passed 7-0 with Ms. Rose passing on the vote.

AGENDA ITEM 6 – CONSENT AGENDA – A. TENNESSEE TECH POLICY 271 (GENERAL GRADUATE DEGREE REQUIREMENTS) B. TENNESSEE TECH POLICY 537 (NAMING BUILDINGS, FACILITIES, AND ORGANIZATIONAL UNITS)

Upon committee recommendations, Mr. Stites moved to approve the Consent Agenda as presented. Mr. Jones seconded the motion. Mr. Wray called a roll call vote. The motion carried unanimously.

AGENDA ITEM 7.A. – AUDIT & BUSINESS COMMITTEE RECOMMENDATIONS - FY2022-23 REVISED BUDGET/ORGANIZATIONAL CHART

Upon the Audit and Business Committee’s recommendation, Mr. Stites moved to approve the Tennessee Tech 2022-23 revised budget and organizational chart. Because the recommendation came from committee, no second was needed. Mr. Wray called a roll call vote. The motion carried unanimously.

AGENDA ITEM 7.B. – AUDIT & BUSINESS COMMITTEE RECOMMENDATION – TUITION TRANSPARENCY ACT REPORT (T.C.A. § 49-7-1604)

Upon the Audit and Business Committee’s recommendation, Mr. Stites moved to approve the Tuition Transparency Act for Fiscal Year 2021 and 2022. Chair Harper stated that a small modification was made during the morning Audit and Business Committee meeting and asked Mr. Stites to confirm that his motion incorporated that change. Mr. Stites confirmed that the motion did include the change made by the Audit and Business Committee. Because the recommendation came from committee, no second was needed. Mr. Wray called a roll call vote. The motion carried unanimously.

AGENDA ITEM 8 – BOARD SECRETARY REPORT

Mr. Wray reported that he had identified three changing areas of focus for university boards: strategic initiative, particularly on enrollment; finance, because of funding for more and

different areas across the state, country and federal made it a bit more public than in the past; and external building, not just building relations with faculty/staff but also with alums, legislators, business, corporations, foundations and government because that is the source of most funding. This includes working with Tennessee Higher Education Commission (THEC).

AGENDA ITEM 9 – OTHER BUSINESS

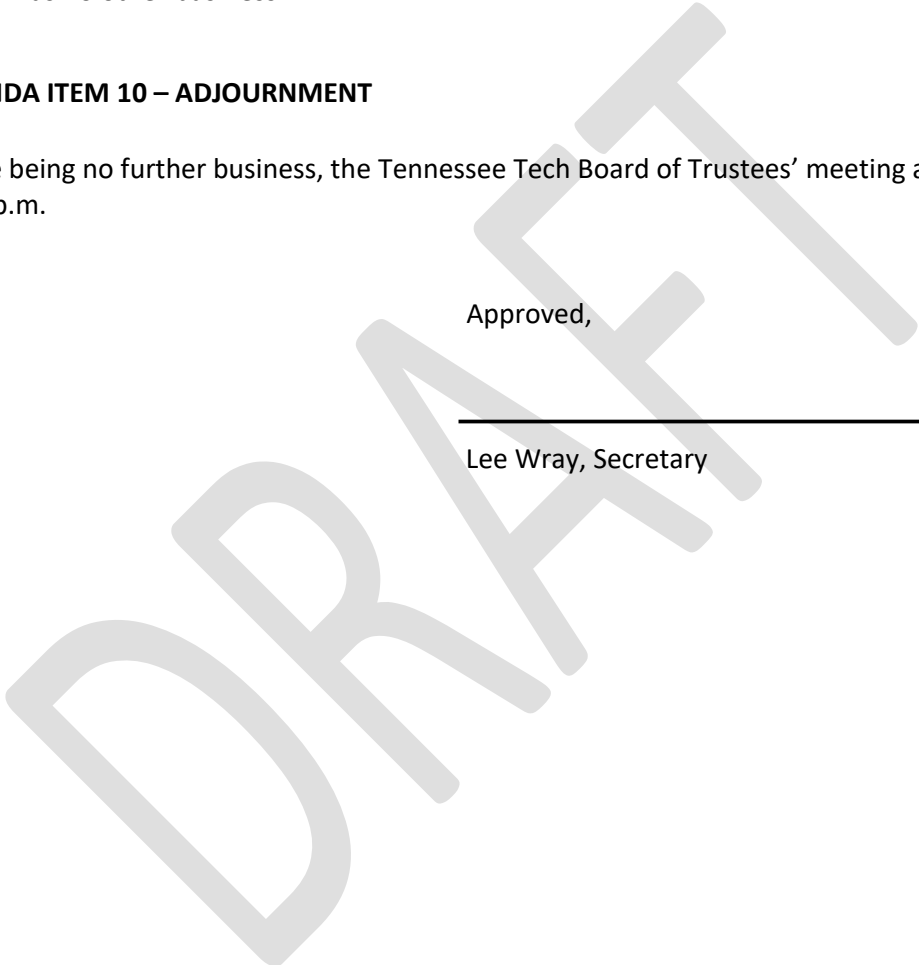
There was no other business.

AGENDA ITEM 10 – ADJOURNMENT

There being no further business, the Tennessee Tech Board of Trustees’ meeting adjourned at 2:32 p.m.

Approved,

Lee Wray, Secretary





Agenda Item Summary

Date: March 9, 2023

Agenda Item: Compensation Plan

Review

Action

No action required

PRESENTERS: Claire Stinson, Vice President for Planning & Finance

PURPOSE & KEY POINTS: Recommend Approval

Subject to approval of the Governor’s budget, President Oldham is recommending a 5% salary increase pool for FY2023-24. The recommendation includes two components to address both merit and market equity adjustments. Three percent of the pool is to be allocated toward employee merit increases effective July 1, 2023. The remaining 2% would be allocated to address market equity adjustments identified in the compensation study undertaken by the university.

Tennessee Tech has contracted with Mercer Financial Services Company to perform a compensation market study for all full-time and part-time permanent positions. Mercer is well respected around employee compensation and has extensive experience in higher education compensation. While their proposal includes various milestones, the final structure and implementation plan will not be finalized until November 2023. Therefore, the market equity adjustments would be effective January 1, 2024.

Additionally, a one-time bonus of \$650 per full-time and part-time permanent employee is recommended to be effective July 1, 2023.

The Governor’s Budget provides 55% of the cost of the recommended 5% increase. The university would provide the additional 45% of cost.



Agenda Item Summary

Date: March 9, 2023

Agenda Item: Non-Mandatory Fees

Review

Action

No action required

PRESENTERS: Dr. Claire Stinson, Vice President for Planning & Finance

PURPOSE & KEY POINTS: Recommend approval

In order to keep pace with increasing personnel, maintenance and facilities costs, the University proposes to increase housing fees beginning fall 2023. The proposed 2% increase for double- and triple-occupancy room and 5% increase for single-occupancy rooms will provide funds necessary for housing operations while also allowing us to remain competitive with other Tennessee universities.

The University is proposing a \$100 per month increase in rental for Tech Village apartments. Funds generated by this increase will be used to pay utility costs for the students. Currently, students renting apartments in our Tech Village complex must contract directly with the City of Cookeville for their utilities. This proposal will remove this step from the rental process.

Tennessee Tech University



Non-Mandatory Fee Proposal 2023-2024

Tennessee Tech University
Fee Proposal Summary
FY2023-2024

5.2

NON-MANDATORY FEES:

Housing:

Traditional Housing			
Single Occupancy	5% increase	\$ 17,686	
Double and Triple Occupancy	2% increase	\$ 82,880	
Traditional Housing Total		<u>\$ 100,566</u>	
Tech Village	\$100 per month	<u>\$ 272,400</u>	
Total Housing		<u>\$ 372,966</u>	
Total Increase Per Fee Proposals		<u>\$ 372,966</u>	

TENNESSEE TECH UNIVERSITY
PROPOSED FEE CHANGES
2023-24

5.2

Description	Rates				Annual Revenue Impact of Fee Change	Prior Fee Increase	Objectives and Considerations
	Current 2022-23	Proposed 2023-24	Increase \$/sem	%			
HOUSING:							
Residence Halls:							
Traditional Double	\$3,024/sem	\$3,084/sem	\$60/sem	2%	\$ 100,566	2021-22 \$144/5%	*Offset increasing operating costs without creating significant financial burden for residents.
Traditional Double - Summer <i>(Browning/Evins, Cooper/Dunn, Ellington/Warf, Ms Cooper/Pinkerton, Jobe/Murphy)</i>	\$866/sem	\$883/sem	\$17/sem	2%		2021-22 \$41/5%	
Traditional Double as Single	\$3,822/sem	\$3,898/sem	\$76/sem	2%		2021-22 \$182/5%	* Currently lower than other Tennessee institutions by \$500 -\$1,000 per semester.
Traditional Double as Single - Summer <i>(Browning/Evins, Cooper/Dunn, Ellington/Warf, Ms Cooper/Pinkerton, Jobe/Murphy)</i>	\$1,055/sem	\$1,076/sem	\$21/sem	2%		2021-22 \$50/5%	
Traditional Single	\$3,124/sem	\$3,280/sem	\$156/sem	5%		2021-22 \$149/5%	
Traditional Single - Summer <i>(Browning/Evins, Cooper/Dunn, Ellington/Warf, Ms Cooper/Pinkerton, Jobe/Murphy)</i>	\$908/sem	\$953/sem	\$45/sem	5%		2021-22 \$43/5%	
Murphy Super Single <i>(Murphy Super Single Rooms Only)</i>	\$3,492/sem	\$3,667/sem	\$175/sem	5%		2021-22 \$167/5%	
Crawford Double <i>(Crawford)</i>	\$2,580/sem	\$2,632/sem	\$52/sem	2%		2019-20 \$50/2%	
Crawford Double as Single <i>(Crawford)</i>	\$3,378/sem	\$3,446/sem	\$68/sem	2%		2019-20 \$68/2%	
Crawford Single <i>(Crawford)</i>	\$2,655/sem	\$2,788/sem	\$133/sem	5%		2019-20 \$55/2%	
Engineering Village Double <i>(Maddux/McCord)</i>	\$3,124/sem	\$3,184/sem	\$60/sem	2%		2021-22 \$144/5%	
Engineering Village Double as Single <i>(Maddux/McCord)</i>	\$3,922/sem	\$3,998/sem	\$76/sem	2%		2021-22 \$182/5%	
Engineering Village Single <i>(Maddux/McCord)</i>	\$3,224/sem	\$3,380/sem	\$156/sem	5%		2021-22 \$149/5%	

TENNESSEE TECH UNIVERSITY
PROPOSED FEE CHANGES
2023-24

5.2

Description	Rates				Annual Revenue Impact of Fee Change	Prior Fee Increase	Objectives and Considerations
	Current 2022-23	Proposed 2023-24	Increase				
			\$/sem	%			
Tech Village Apartments:							
One Bedroom (Small 528 sq ft)	\$4,050/sem	\$4,550/sem	\$500/sem	12%	\$ 272,400	2018-19 \$80/2%	* \$100 per month increase to include all utilities to provide convenience for residents.
Summer Semester	\$1,620/sem	\$1,820/sem	\$200/sem	12%		2018-19 \$34/2%	
One Bedroom (Large 543 sq ft)	\$4,200/sem	\$4,700/sem	\$500/sem	12%	2018-19 \$85/2%		
Summer Semester	\$1,680/sem	\$1,880/sem	\$200/sem	12%	2018-19 \$37/2%		
Two Bedroom (Small 572 sq ft)	\$4,570/sem	\$5,070/sem	\$500/sem	11%	2018-19 \$90/2%		
Summer Semester	\$1,830/sem	\$2,028/sem	\$200/sem	11%	2018-19 \$38/2%		
Two Bedroom (Large 660 sq ft)	\$4,865/sem	\$5,365/sem	\$500/sem	10%	2018-19 \$95/2%		
Summer Semester	\$1,946/sem	\$2,146/sem	\$200/sem	10%	2018-19 \$39/2%		
Two Bedroom (4 Person Suite 1100 sq ft)	\$5,760/sem	\$6,260/sem	\$500/sem	9%	2018-19 \$115/2%		
Summer Semester	\$2,305/sem	\$2,504/sem	\$200/sem	9%	2018-19 \$49/2%		

University Housing & Residential Life
Proposed Rate Increases Fall 2023

In order to keep pace with rising personnel, maintenance, and facility costs, University Housing & Residential Life proposes to increase housing fees beginning fall 2023. We also recommend increasing Tech Village apartment rates to include the cost of electricity. We recommend the following increases:

Proposed: 2% rate increase for all double- and triple-occupancy rooms in the traditional residence halls. Given the 5% rate increase implemented in fall 2022, a base 2% increase allows us to keep pace with rising costs without creating a significant financial burden for our residents. We do not recommend increasing the rates for New Hall North or New Hall South. These are our most expensive spaces, and we seek to remain competitive with off-campus housing options.

Proposed: 5% rate increase for all single-occupancy rooms in the traditional residence halls. The increase in single-occupancy and double-occupancy room rates at Tennessee Tech (approximately \$100 per semester) allows us to remain competitive with other Tennessee institutions (from \$500-\$1,000 per semester). As a result, we propose a higher rate increase for these spaces.

Proposed: \$100 per month increase for all Tech Village apartments to include all utilities. Currently, Tech Village residents must arrange their own electricity contract with the City of Cookeville. This process is inconvenient for residents and creates additional work for UHRL team members. A flat rate estimated at slightly higher than the average monthly cost of electricity is recommended, with contract language that would allow UHRL to bill residents whose electricity costs exceed the monthly rate.

Semester Rate Comparison	Current Rate	Proposed Increase	Proposed Rate
Traditional Halls* - Single	\$3,124	5%	\$3,280
Traditional Halls* – Double/Triple	\$3,024	2%	\$3,084
New Halls – Single	\$4,520	0%	\$4,520
New Halls - Double	\$4,070	0%	\$4,070
Tech Village**	\$4,050-\$5,760	\$100/month	\$4,550-\$6,260

* Rates shown are for each resident. Rates for Crawford Hall are approximately \$500 less per semester. Murphy Hall offers a “super-single” at a higher rate than shown. Residents in Maddux/McCord pay an additional \$100 fee per semester to the College of Engineering for college-related programs and amenities for a semester rate of \$3,224 (Single) or \$3,124 (Double/Triple).
 ** Rates shown are for each unit. Rates shown are 10-month rates.

Increase in Total Gross Revenue (Estimated): \$372,966.00

Off-campus housing costs per 2-bedroom apartment: Eagles Landing – approx. \$5,360; Campus Edge – approx. \$5,800. Note: Both are furnished and include utilities.



Agenda Item Summary

Date: March 9, 2023

Agenda Item: Master Plan Amendment

Review Action No action required

PRESENTERS: Garry Askew, Bauer Askew Architecture

PURPOSE & KEY POINTS: Recommend Approval

The university has requested the Master Plan be revised to add a section dedicated to Student Services. The initial emphasis has been on the University Center expansion. As a part of the current study, the vision for the university center expansion has been refined to locate the expansion in a separate building at the south end of Tucker Stadium in lieu of an addition to the Roaden University Center (RUC) as is indicated on the current Master Plan.

The proposed detached structure will house the bookstore and a dedicated banquet hall space, as well as a satellite food court. These activities are currently housed in the existing university center. The bookstore operation will relocate in total and expand its operation. The banquet hall will provide a dedicated functional event space thus allowing the existing multi-purpose space in the RUC to be more focused in its use. The food court will serve the northern portion of the campus including commuters and will supplement the primary food court at the RUC.

The primary function of the Event Center building will be as an event space to serve current and future students' needs. However, its location is also ideal for providing support for game-day and other activities taking place in the new West Stadium.



TENNESSEE TECH UNIVERSITY CENTER
MASTER PLAN - AMENDMENT #3

26 JANUARY 23
BAUER ASKEW ARCHITECTURE, PLLC

DISCLOSURE PROJECTS

The remainder of the lower area (southern portion) is proposed to be supplemental student parking with shuttle service. The chiller plant is the only building that is proposed to remain at the existing Facilities Complex.

B. Athletics Projects

The Athletics Department’s projects and priorities are outlined in the Athletics Master Plan. The major imminent projects include:

- B1. Football Operations Building
- B2. West Stadium Replacement
- B3. Baseball | Softball Complex

C. Parking Garages

Parking garages are proposed to add on-campus parking density for those who would like to park closer to the campus activities. The order of implementing the garages is subject to change.

C1. Wings Up Way Garage - The first garage is proposed to be located just north of Ray Morris Hall on Wings Up Way. The garage will serve the southern portion of the campus including the Marc L. Burnett Student Recreation and Fitness Center and the Capital Quad residence halls. Due to its location, the garage should be considered for housing the future chiller plant expansion to minimize the upgrades needed in the campus chilled water piping system. **NOTE:** This Garage is part of the currently ongoing Disclosed Parking and Transportation Improvements Project

C2. Peachtree Garage - A second garage is proposed just west of the proposed Academic Classroom Building. The garage will be two levels and will be integrated into the hillside with the first level at the Peachtree Avenue level and the upper level at existing parking level. The garage will provide parking for students as well as faculty and staff. The Peachtree Garage will also provide a replacement for the parking eliminated to create the Peachtree Mall green space in the core of the campus.

C3. Library Garage - A third parking garage is proposed at the west side of the Library site. The garage will serve faculty and commuting students as well as athletic events. This garage is also proposed to serve visitors to the new Event Center which is proposed to include a Welcome Center for prospective students and their families to begin their visit to the campus. The garage is a potential site for a remote chiller plant.

D. Food Service Improvements

The food services project(s) represent ongoing projects related to providing continually improving food service for the University.

E. Innovation Housing- Phase II

The Innovation Housing is proposed to be a two-building residential complex with a separate Innovation Center. The buildings are proposed to be organized about the centerline from the engineering quad through the center of the new engineering building. Phase II will

include the southern residential hall.

F. Sorority Row

The sorority row is envisioned as an eight-building grouping of houses. The row is envisioned to be designed as a cohesive neighborhood grouping to provide a central outdoor commons space. While serving as the combining element of the community, the commons will provide space for group functions such as sorority rush events. Each house is envisioned to serve 30-32 women. Currently, there are five sororities on campus as well as other women’s organizations.

G. Roaden University Center Expansion

The University Center Expansion is envisioned as a renovation of the existing facility with a detached Event Center located at the south end of Tucker Stadium. The multi-phased project will include the renovation of the Volpe Library to provide facade improvements, an interior connection to the Peachtree Quadrangle, and the conversion of the library parking area to an exterior open air courtyard. The renovation of the University Center may entail a temporary facility to serve food service and other needs during construction. Further expansion of the University Center to the north could be considered in the future.

H. Parking & Transportation Improvements - Phase II

Road Improvement projects are envisioned to extend the current work throughout the campus. The initial work could include the roads surrounding the new Ashraf Islam Engineering Building and the J.J. Oakley Innovation Center and Residence Hall.

I. University Tower

The university tower is envisioned as an iconic element within the Peachtree Quadrangle. The classic Georgian features of the tower should reflect the campus architecture and provide a vertical element on the axial center of University Drive and the Peachtree Promenade. The tower could incorporate a clock, a bell or carillon, or simply exist as a vertical feature.

J. Art Trail

The art trail is envisioned as a series of art elements throughout the campus. Several concepts are presented later in the master plan which form a walking “trail” through the campus. The integration of art throughout the campus, however, should not be limited to the proposed locations.

K. Peachtree Quadrangle

The Peachtree Quadrangle is envisioned as the third major quadrangle on the campus. The Quadrangle will interconnect with the other Quads to provide linked greenspace throughout the core of the campus.

L. Foundation Hall Demolition(s)

Foundation Hall provides a valuable resource for the University as a swing building for campus renovations as well as for permanent campus support space. The building, however, does have portions that are under utilized, in need of renovation, or detached from the remainder of the building. Therefore, portions could be considered for demolition.



Figure 3.11 Disclosure Projects

DISCLOSURE PROJECTS

#	PROJECT	NEW	RENOVATION	STORIES	AREA (SF)
A	FACILITIES SERVICES COMPLEX	X			
B	MAJOR ATHLETICS PROJECTS	X			
B1	FOOTBALL OPERATIONS BLDG	X			
B2	WEST STADIUM REPLACEMENT	X			
B3	BASEBALL/SOFTBALL COMPLEX	X			
C	PARKING GARAGE(S)	X			
C1	WINGS UP WAY GARAGE	X			
C2	PEACHTREE GARAGE	X			
C3	LIBRARY GARAGE	X			
D	FOOD SERVICE IMPROVEMENTS		X		
E	INNOVATION HOUSING - PHASE II	X			
F	SORORITY ROW	X			
G	ROADEN UNIVERSITY CENTER RENOVATION		X		
G1	EVENT CENTER	X			
G2	LIBRARY COURTYARD	X			
G3	ROADEN RENOVATION		X		
G4	ROADEN UNIVERSITY CENTER EXPANSION	X			
H	PARKING & TRANSPORTATION IMPROVEMENTS - PHASE II		X		
I	UNIVERSITY TOWER	X			
J	ART TRAIL	X			
K	PEACHTREE QUADRANGLE		X		
L	FOUNDATION HALL DEMOLITIONS		X		

LEGEND

- DISCLOSED PROJECT NEW CONST.
- DISCLOSED PROJECT RENO.
- ON-GOING PROJECT

DISCLOSURE PROJECTS

CAPITAL PROJECTS (through 12,000 Student Campus Space Needs)



PROPOSED PARKING REFINEMENTS

The Master Plan Vision for Greening the Campus continues to be a priority for the University for the development of the campus in the years to come. The focus will still be to reduce the core campus parking areas to the degree possible, develop perimeter parking as available, and to then introduce dense parking in the form of parking garage(s) at the edges of the academic core of the campus. Based upon the findings and recommendations of the parking study, the capacity requirements will need to be maintained to accommodate the population of the campus as the student count fluctuates over time.

The following outlines the projected phasing for the refinements to the campus parking capacity in the future. While the phasing is presented in the anticipated sequence, variations are certainly very likely as priorities are refined over time.

Phase 1
As part of the campus street improvements project, eliminate the parking along W. Tenth Street.
Minus 74 spaces

Phase 2
Eliminate the parking along Stadium Drive as part of the New Engineering building project.
Minus 35 spaces

Phase 3
Eliminate ~2/3 of the existing temporary parking along the east side of Willow Avenue to allow for the construction of the New Innovation Housing. Maintain approximately 100 spaces to support the new Marc L. Burnett Student Recreation & Fitness Center. It is envisioned

that these spaces could be relocated and developed as permanent parking as part of the potential Sorority Row.
Minus 230 of 330 spaces

Phase 4
Eliminate the parking in front of Derryberry Hall to establish as front lawn area. Provide parking to the east of Derryberry to allow for Administration visitors to the campus.
Minus 21 of 39 spaces

Phase 5
As part of the Facilities Complex relocation to the Foundation Hall area, eliminate the parking area associated with the Facilities Operations. Retain parking for the Chiller Plant.
Minus 67 of 85 spaces

Phase 6
As part of the Facilities Complex relocation to the Foundation Hall area, add parking at the lower former football field area to be developed as the Warehouse and associated buildings site. Provide replacement parking for Facilities operations with the remainder of the parking for Student Remote Parking.
Add 104 spaces

Phase 7
To provide a site for New Engineering Building #1 to replace Lewis Hall, the Foundry, and provide expanded engineering programs, eliminate the parking along the north side of Wings Up Way, just south of Southwest Hall.
Minus 68 spaces

Phase 8
Provide a new Parking Garage at the area behind Ray Morris Hall. The added parking capacity is a net gain due to the elimination of existing parking already on site.
Net add of 404 spaces (at 4 Levels)

Phase 9
Provide a new Parking Garage at the area behind the New Academic Classroom Building. The added parking capacity is a net gain due to the elimination of existing parking already on site.
Net add of 114 spaces (at 2 Levels)

Phase 10
As part of the Memorial Gym Renovation project, eliminate the adjacent parking area.
Minus 65 spaces

Phase 11
In preparation for New Engineering Building #2, eliminate the parking associated with Southwest Hall.
Minus 107 spaces

Phase 12
Provide a new Parking Garage at the area west of the Volpe Library courtyard site. The new parking garage will provide approximately 545 parking spaces on five levels. The garage may be developed to include the remote chiller plant at the north end of the garage.
Net add 156 spaces (at 5 levels)

Phase 13
Eliminate the parking along Peachtree behind Henderson and TJ Farr to create the Peachtree Quadrangle.
Minus 184 spaces

Phase 14
As part of the West Stadium expansion, eliminate parking at the Athletics areas to accommodate the vision of the project. This would include the lots at the north and south of the current stands, the parallel spaces along Stadium Drive and the center section of spaces in the main parking lot to create a landscape plaza connection to the Hooper Eblen Center.
Minus 322 spaces

Phase 15
In association with the paring down of the Foundation Hall footprint, provide a reconfigured parking area with added parking to the north and west of the building.
Add 4 spaces

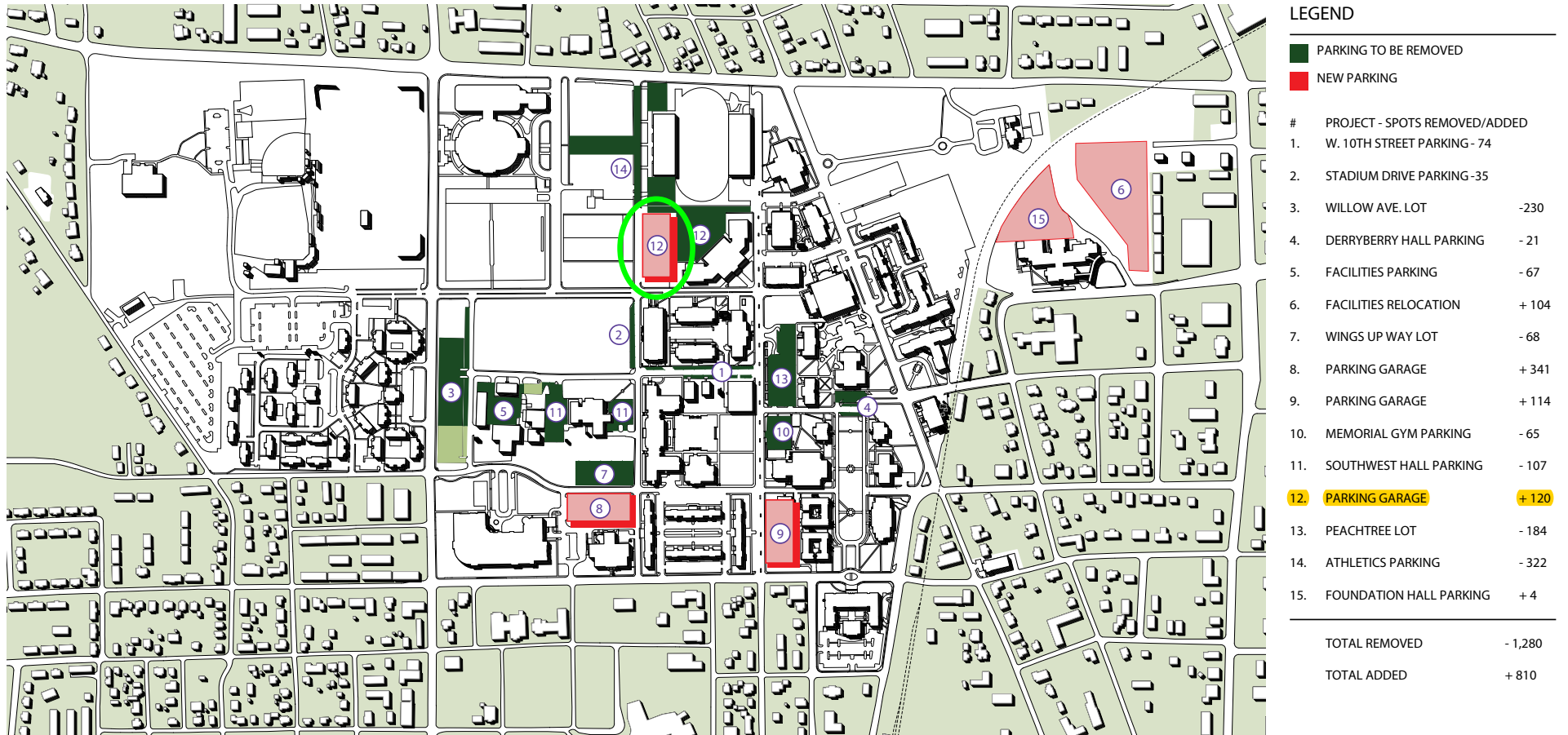


Figure 3.18 Parking Projects

PARKING PROJECTS



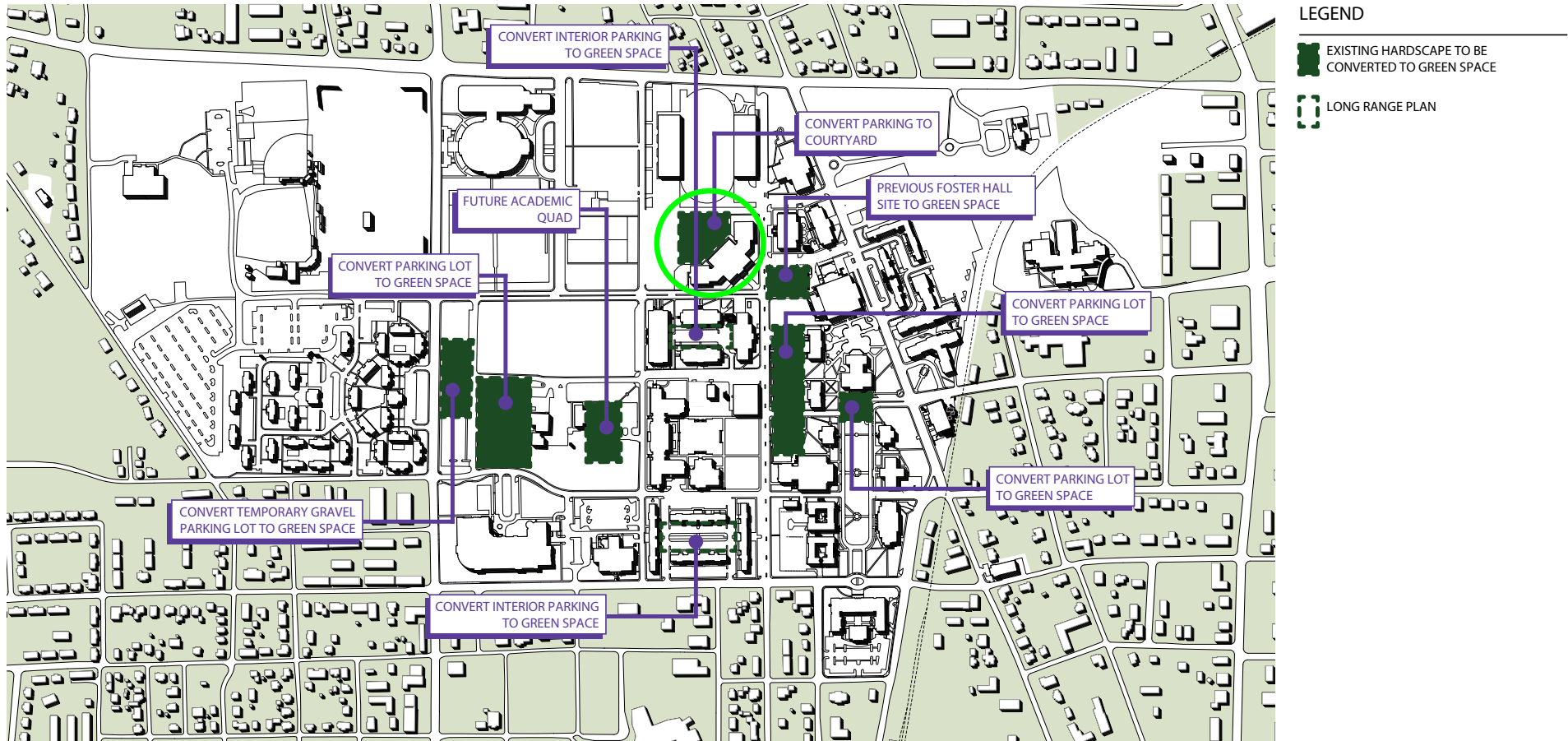
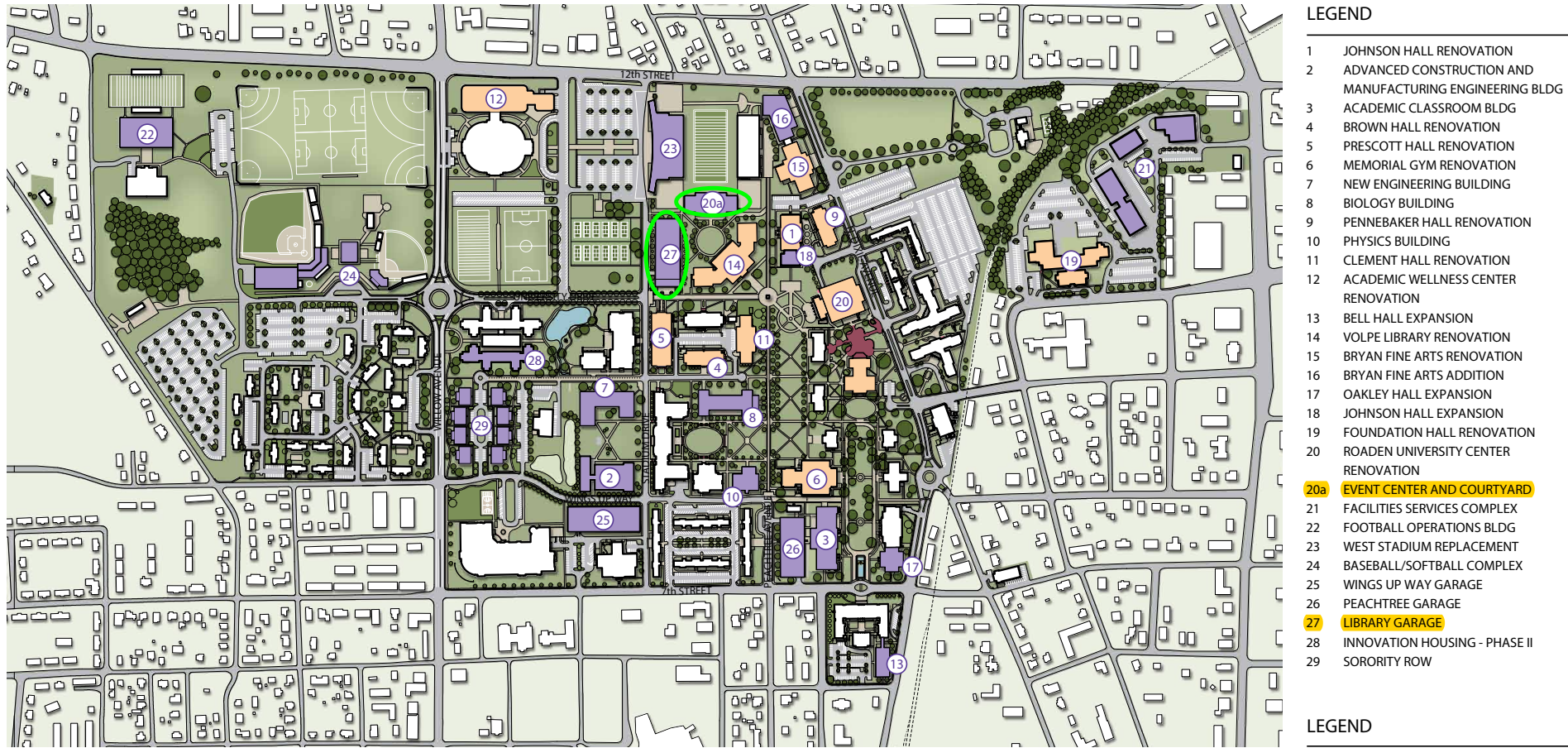


Figure 3.19 Hardscape & Landscape 2021 Vision

MAJOR GREENSPACE VISION

SITE CONSIDERATIONS



- LEGEND**
- 1 JOHNSON HALL RENOVATION
 - 2 ADVANCED CONSTRUCTION AND MANUFACTURING ENGINEERING BLDG
 - 3 ACADEMIC CLASSROOM BLDG
 - 4 BROWN HALL RENOVATION
 - 5 PRESCOTT HALL RENOVATION
 - 6 MEMORIAL GYM RENOVATION
 - 7 NEW ENGINEERING BUILDING
 - 8 BIOLOGY BUILDING
 - 9 PENNEBAKER HALL RENOVATION
 - 10 PHYSICS BUILDING
 - 11 CLEMENT HALL RENOVATION
 - 12 ACADEMIC WELLNESS CENTER RENOVATION
 - 13 BELL HALL EXPANSION
 - 14 VOLPE LIBRARY RENOVATION
 - 15 BRYAN FINE ARTS RENOVATION
 - 16 BRYAN FINE ARTS ADDITION
 - 17 OAKLEY HALL EXPANSION
 - 18 JOHNSON HALL EXPANSION
 - 19 FOUNDATION HALL RENOVATION
 - 20 ROADEN UNIVERSITY CENTER RENOVATION
 - 20a EVENT CENTER AND COURTYARD**
 - 21 FACILITIES SERVICES COMPLEX
 - 22 FOOTBALL OPERATIONS BLDG
 - 23 WEST STADIUM REPLACEMENT
 - 24 BASEBALL/SOFTBALL COMPLEX
 - 25 WINGS UP WAY GARAGE
 - 26 PEACHTREE GARAGE
 - 27 LIBRARY GARAGE**
 - 28 INNOVATION HOUSING - PHASE II
 - 29 SORORITY ROW

- LEGEND**
- NEW BUILDING
 - RENOVATED BUILDING

Figure 3.28 12,000 Student Campus Master Plan

12,000 STUDENT CAMPUS MASTER PLAN



AMENDMENTS

1. ACADEMIC CLASSROOM BUILDING

- Page 07 Clarify renovation goal
- Page 11 Revised list to show Crawford to be demolished
- Page 13 Updated footprint for new Academic Classroom Building
- Page 14 Updated footprint for new Academic Classroom Building
- Page 35 Crawford rating revised to be <60 and to be demolished
- Page 75 Updated narrative for Academic Classroom Building
- Page 77 Updated Capital Improvement list and footprint of Academic Classroom Building
- Page 81 Updated footprint for new Academic Classroom Building
- Page 97 Updated Implementation table
- Page 98 Updated footprint for new Academic Classroom Building
- Page 99 Updated footprint for new Academic Classroom Building

2. CROSSVILLE CAMPUS

- Page 26 Updated narrative and University Property chart
- Page 28 Added the Crossville Campus to the map
- Page 29 Updated narrative
- Page 78A Added page to show Crossville Campus property and proximity map

3. UNIVERSITY CENTER

- Page 80 Revised University Center Expansion to include a detached Event Center at the south end of Tucker Stadium in association with the Volpe Library in lieu of a western addition to the existing University Center. The existing University Center will still be renovated.
- Page 81 Added footprint of Event Center, reduced footprint of expansion of Roaden University Center
- Page 89 Refined Parking to eliminate parking lot behind Volpe Library
- Page 90 Refined Parking to eliminate parking lot behind Volpe Library
- Page 91 Added greenspace at parking area behind Library as part of University Event Center
- Page 98 Updated plan to include University Center related projects
- Page 99 Updated plan to include University Center related projects



Agenda Item Summary

Date: March 9, 2023

Agenda Item: Disclosed Projects FY2022-23

Review

Action

No action required

PRESENTERS: Dr. Claire Stinson, Vice President for Planning & Finance

PURPOSE & KEY POINTS: Review and approval of disclosed projects for:

FY2022-23

1. Murphy Hall elevator
2. Tech Village Roof replacement
3. Tech Village Community Center Upgrades

2022-23 Disclosures						Funding Source							
Institution/ Campus	Project Name	Project Description	Reason for Disclosure	Disclosure Year	CB or Quarterly	Project Cost	TSSBA	Gifts	Grants	Gift-In-Place	Revenue/Auxiliary	Plant Funds	Other
TTU	Murphy Hall Elevator	Install a new elevator in Murphy Hall, and all related work.	To complete design and determine construction time so that we can plan ahead for closure of the residence hall to complete the work.	2022-23	Q4	\$2,090,000	\$0	\$0	\$0	\$0	\$2,090,000	\$0	\$0
TTU	Tech Village Roof Replacements	Replace the shingle roofs on twenty apartment buildings, the laundry building and the community center.	To replace the roofs.	2022-23	Q4	\$1,340,000	\$0	\$0	\$0	\$0	\$1,340,000	\$0	\$0
TTU	Tech Village Community Center Upgrades	Provide building systems and related space upgrades. Building systems to be replaced or upgraded include, but are not necessarily limited to, mechanical, plumbing, electrical, fire alarm, ITS and telecom. Abate asbestos materials as required.	Building system updates are needed.	2022-23	Q4	\$1,980,000	\$0	\$0	\$0	\$0	\$1,980,000	\$0	\$0

5.4